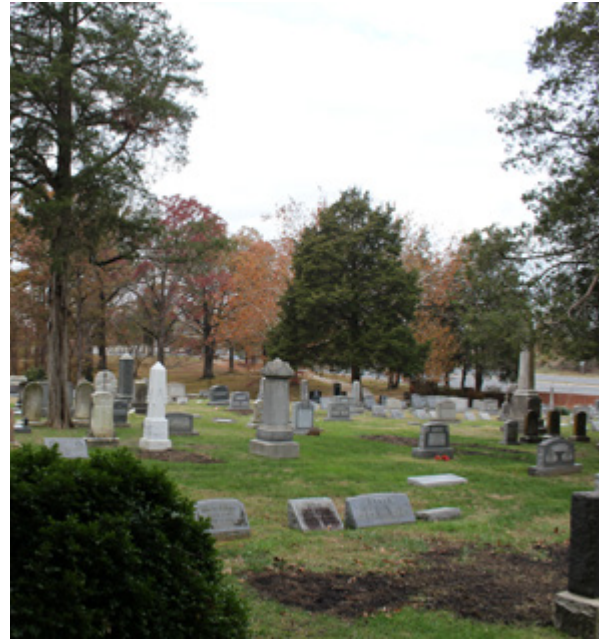


Pohick Church Historic Overlay District Design Guidelines

Fairfax County, Virginia

*Draft
April 2024*



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01

Introduction to the District-Specific Design Guidelines

INTRODUCTION

Pohick Church, located at the intersection of Richmond Highway (Route 1), and the north-south artery of Telegraph/Old Colchester Road in southeast Fairfax County, is one of the few remaining examples of an eighteenth-century colonial church established by the Church of England.

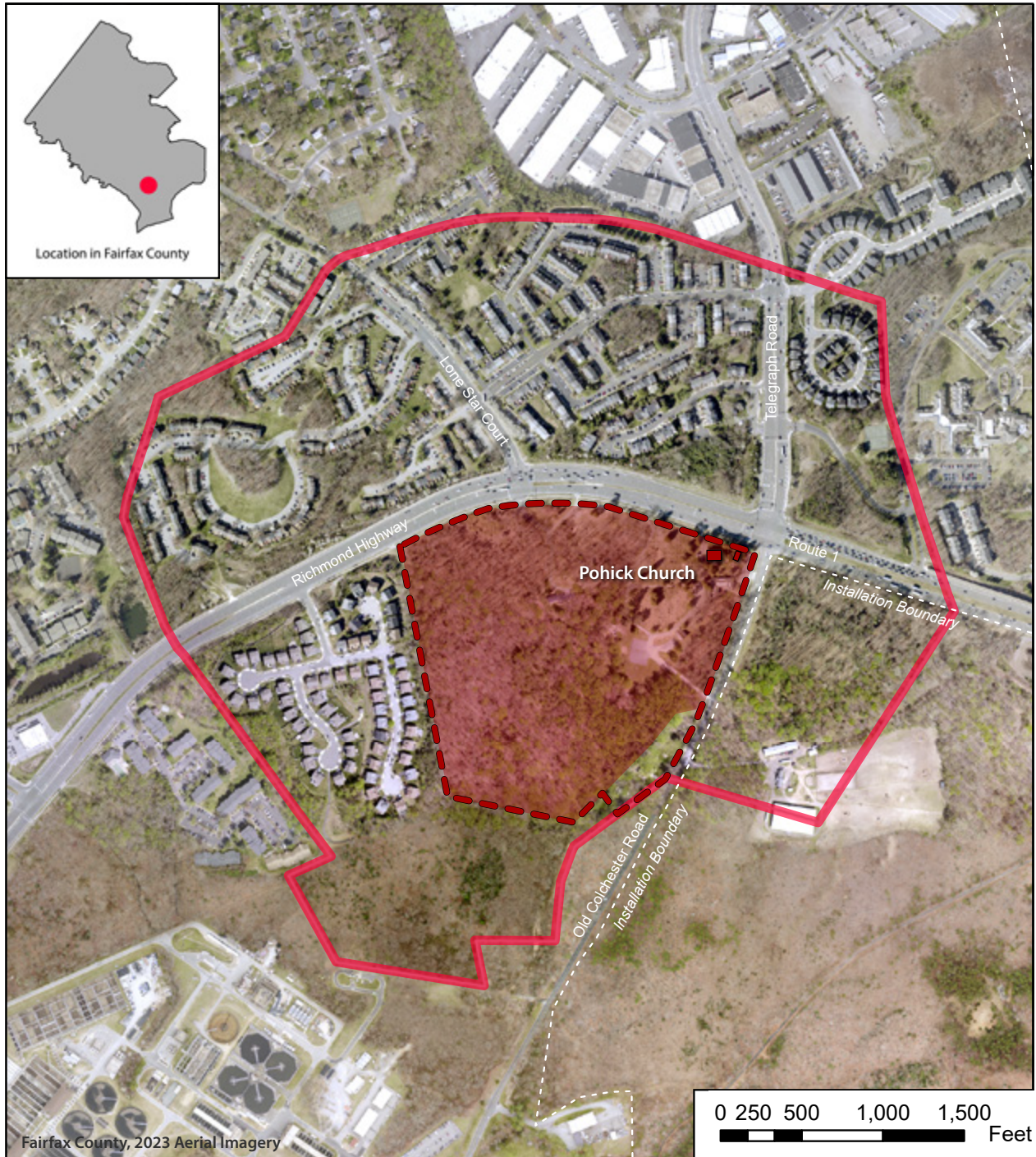
Truro Parish, the administrative office serving Pohick Church, was founded to serve Virginians north of the Occoquan River in 1732. Construction of the current Pohick Church started in 1769. The brick church, which replaced a wood building on a different site, was typical of colonial Anglican churches of the time—rectangular, unpretentious, and featuring Georgian style detailing. After the American Revolution, Pohick Church became a parish of the newly established Episcopal Church with “The Virginia Statute for Religious Freedom” in 1786, ending the Anglican Church’s formal establishment as the state religion. During the Civil War, Pohick Church was occupied by both Union and Confederate troops, which resulted in damage to the interior. In the early-twentieth century, the interior of the church was restored to its historic appearance, and it largely retains that appearance today.

In 1969, Pohick Church was added to the Virginia Landmarks Registry and the National Register of Historic Places. In 1970, Fairfax County created the Pohick Church Historic Overlay District (HOD), the county’s first, to protect the eighteenth-century church and its historic landscape from incompatible development.

As described in Article 3, subsection 3101.1 of the Fairfax County Zoning Ordinance, a HOD is a comprehensive planning and zoning tool that helps promote the identification, preservation, and enhancement of buildings, structures, neighborhoods, landscapes, places and areas that have historical, cultural, architectural or archaeological significance. The creation of HODs was authorized by the Fairfax County Board of Supervisors to protect and enhance the county’s historic and architectural landmarks – sites deemed both valuable and vulnerable.



The historic Pohick Church (right) and the modern church center (center left).



Pohick Church
 Historic Overlay District
 Fairfax County, VA

Prepared by EHT Tracerics for the Fairfax County
 Department of Planning and Development
 April 2024

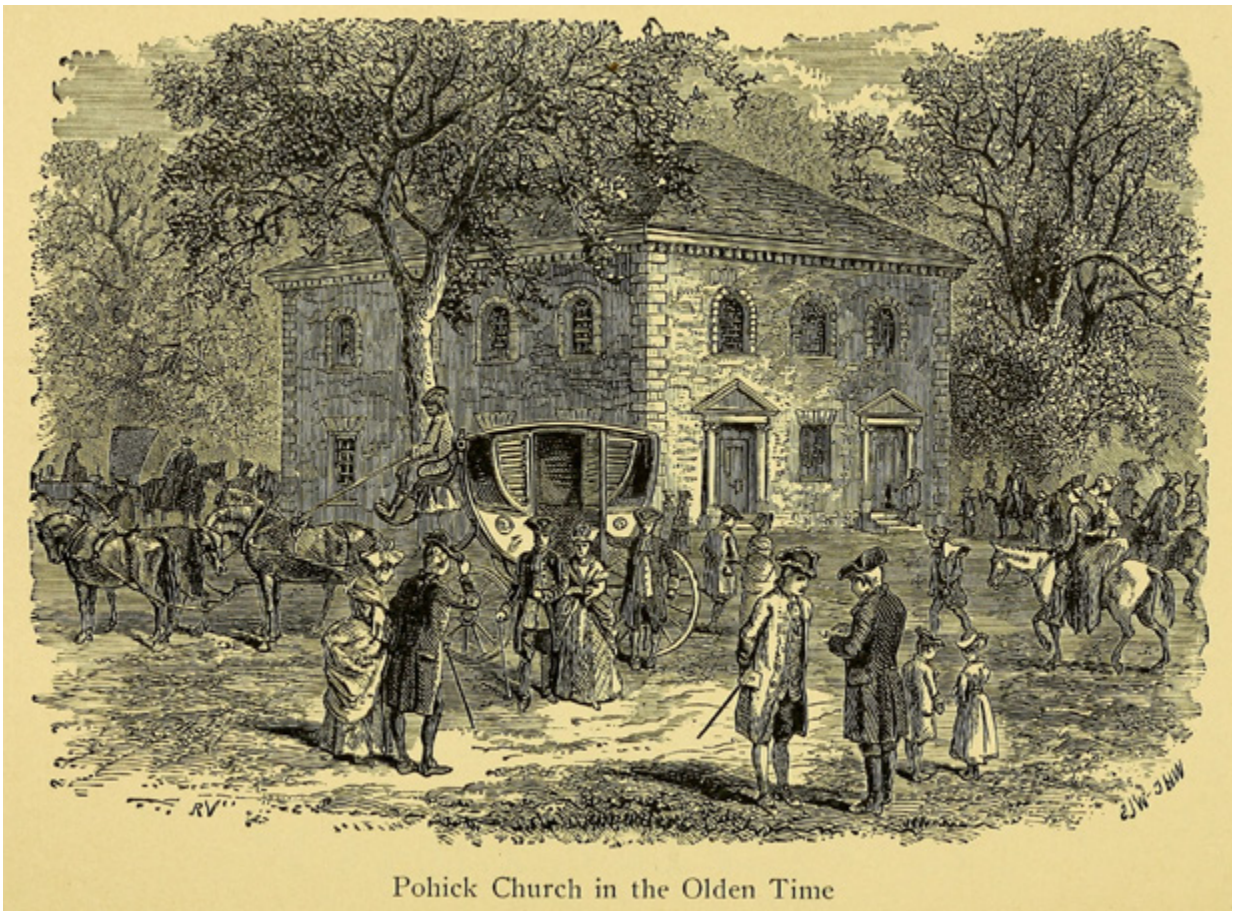
- Legend**
- District Boundary
 - - - District Core Boundary
 - Historic Property
 - Contributing Property
 - Non-Contributing Property



The content within this document will help project applicants and the broader community understand the history of the HOD, identify its character-defining features, and foster design solutions that protect and enhance the historic resource and retain the historic character of the historic district. These district-specific design guidelines supplement the Historic Overlay District General Design Guidelines, which provide an overview of architectural and design principals applicable to all HODs. With this information, project applicants can use the guidelines to develop design solutions that retain the historic character of the HOD as a whole.

This document incorporates findings and information included in the Pohick Church National Register documentation (1969), the Pohick Church Historic District Report prepared by the Fairfax County Office of Comprehensive Planning (1977), Historic American Buildings Survey (HABS) documentation (1960), and the list of historic and contributing resources identified in a memorandum prepared for the County in 1991 titled: "Contributing Properties within the Historic Districts." The Design Guidelines document incorporates and replaces the prior Pohick Church Historic Overlay District Design Guidelines approved by the Architectural Review Board (ARB) in 1992.

For more information on the project review process, applicants should also reference the *Historic Overlay District General Design Guidelines* which outlines the ARB review process, standards of review, as well as design principles and general guidance applied to all HODs.



Etching of the Pohick Church in *The History of Truro Parish in Virginia*. Hathitrust.

HISTORIC OVERLAY DISTRICT REGULATIONS AND PROJECT REVIEW SUMMARY

Proposed projects within the Historic Overlay District will be reviewed by the Fairfax County ARB. As described in the Zoning Ordinance subsection 3101.6: “Administration of Historic Overlay Districts,” the term “project” applies primarily to exterior renovations, construction, demolition, or any uses that require a building permit, site plan, or rezoning application in accordance with the Zoning Ordinance. Fairfax County staff and the ARB will use the HOD Design Guidelines in their review and approval of County permit, site plan, and rezoning determinations and recommendations. Consistent with current practice, ARB review is only required for work that requires a permit.

For additional information on what work requires a building permit, reference the Fairfax County Land Development Services website [here](#).

Projects That Require Review and Permit Approval by the ARB:

- Demolition of buildings and structures
- New buildings, additions and structures
- Decks and screened-in porches (including alterations to existing)
- Sheds and playhouses over 256 square feet
- Swimming pools
- Retaining walls over three feet
- New exterior stairs or stoops

Projects That Require Review and Recommendation by the ARB:

- Rezonings
- Special exceptions
- Special permits including encroachment into minimum yard requirements/setbacks and ground disturbance over 2500 square feet, such as septic fields
- Variances and site plans including subdivision plats and grading plans

Projects That Do Not Require Review and Permit Approval by the ARB:

- Fences
- Residential window and door replacements
- Gutters
- Playground equipment
- On-grade patios
- Driveways
- Interior alterations

USING THESE DESIGN GUIDELINES

The Pohick Church HOD Design Guidelines were developed as a resource to give contextual historical background and detailed guidance to project applicants, property owners, the building industry, and the community, and to facilitate ARB consideration of project applications. The design guidelines are not an amendment to or part of the County's Zoning Ordinance which continues to regulate land use types and the intensity of development within Historic Overlay Districts and throughout the County. The Zoning Ordinance regulates measurable items such as heights, setbacks, siting, and sizes of structures.

This document includes information about the district's history and significance in **Chapter 2. History and Significance**. The boundaries of the HOD are outlined in **Chapter 3. Historic Overlay District Overview**, which also includes the HOD's Resource Inventory, or list of contributing and non-contributing properties. Chapter 3 also includes a description of the physical character and character-defining features of the HOD. **Chapter 4. District-Specific Design Guidelines** includes guidance based on the *Secretary of the Interior's Standards for Rehabilitation* that are in keeping with the provisions of Section 3101 of the Fairfax County Zoning Ordinance. The guidelines within Chapter 4 are organized by:

1. Guidelines for Preserving Setting: Topography, Landscape, and Archaeological Resources;
2. Guidelines for Preserving Architectural Character: Preservation and Rehabilitation of the Pohick Church; and
3. Guidelines for Architectural Compatibility & Neighborhood Cohesion: New Construction and New Additions.

The guidelines emphasize flexibility and encourage site-specific solutions rather than a one-size-fits-all approach. They are guidelines, not requirements. The guidelines are not meant to discourage change or growth; rather, they have been developed with the specific intent to:

- Preserve, complement, and reinforce the historic character of the HOD;
- Reinforce the existing scale; and,
- Encourage the consistent use of materials compatible with the character of the historic district.

The **Appendix** includes a glossary of terms and acronyms, a list of additional resources, and an inventory of properties located within the HOD.



Pohick Church..



The vestry house at Pohick Church.



02

History and Significance

STATEMENT OF SIGNIFICANCE

Located in the southwest quadrant of the intersection of Richmond Highway (Route 1) and Telegraph Road in southeast Fairfax County, Pohick Church was built between 1769 and 1774 as a parish church of the Anglican church in the Colony of Virginia. This purpose-built church is significant for its place in the establishment of parish churches in eighteenth-century Colonial America, and the establishment of the Episcopal Church following the American Revolution. A rare surviving example of the parish churches that once dotted the Virginia countryside, Pohick Church is a significant example of colonial era Georgian architecture as exemplified through its elaborate stonework and architectural detailing. The church is also associated with events of the Civil War, as it was used by Federal troops as a stable which caused great damage to the building, and the church yard served as the staging ground for the launching of an observation balloon to track Confederate troop movements. Pohick Church is also important for its association with significant individuals in our nation's history, including George Mason and George Washington, both of whom were members of the church and served on the vestry. Both men also served on the building committee for Pohick Church along with George Fairfax.

DEVELOPMENT HISTORY

In eighteenth-century Virginia, the parishes of the established Church of England carried out many essential responsibilities such as caring for the poor, procession of land, and collecting levies. The origins of the church started with a chapel of ease for Overwharton Parish, built c. 1695 near Woodlawn in the present community of Mount Vernon. In 1730, the parish relocated, building a timber frame church known as the "church above Occoquan Ferry." In 1732—ten years before the founding of Fairfax County—this church became the parish church of Truro Parish which was created by the Virginia House of Burgesses. Truro Parish was the administrative district serving Pohick Church (known as the Occoquan Church or the Parish Church of Truro), and was established to serve Virginians north of the Occoquan River. As such, the Pohick Church is often referred to as the "Mother Church of Northern Virginia."



Etching of Pohick Church, undated. *Fairfax County Public Library, Virginia Room.*

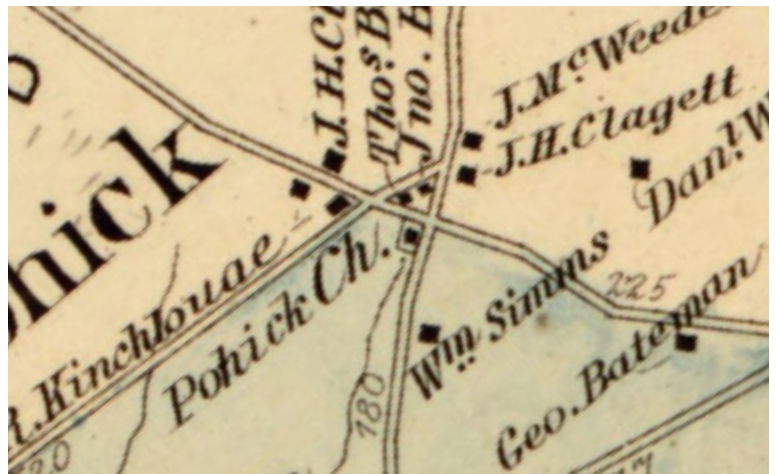


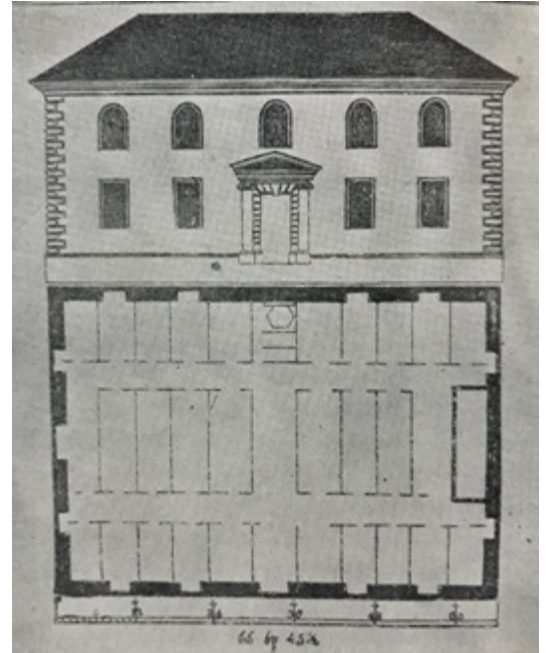
Image from Hopkins' 1878 atlas showing the location of Pohick Church at the intersection of Pohick, Telegraph, and Accotink (now Richmond Highway) Roads. *Library of Congress.*

George Washington, George Mason, and George William Fairfax, were all members of Pohick Church. Washington has a long association with the church, with his father, Augustine Washington, elected to the church vestry in 1735. All three men served on the church vestry which oversaw matters of money, maintenance, and election of clergy. They also served as church wardens at various times, with both Washington and Fairfax elected to serve as wardens together in 1763. In 1767, it was determined that a new church building should be erected to replace the frame building. A new site was chosen, advocated for by Washington, and a five-member building committee was created. Washington, Mason, and Fairfax all served on the building committee, along with Daniel McCarty and Edward Payne. Washington remained a vestryman of the Church until the outbreak of the Revolutionary War.

The original plans for Pohick Church were drawn up by John Wren, who was paid by the vestry in 1769, though Washington and Mason may have had some minor influence in the design of the church. Construction began in 1769, overseen by Daniel French who died before it was completed, resulting in William Buckland being named supervisor. The brick church, which replaced an early wood building on a different site two miles south of the present church, was typical of the colonial Anglican churches of the time—rectangular, plain, and finely crafted. The exterior is highlighted by Aquia stone pedimented doorways based on designs by James Gibbs, and are likely the work of William Copein, the church's mason. The original woodwork, lost during the Civil War, was executed by William Bernard Sears.

Following the American Revolution, churches in the fledgling United States sought to disassociate themselves from the Anglican Church. In 1786, the Virginia General Assembly passed the Statute for Religious Freedom written by Thomas Jefferson which formally disestablished the Anglican Church and led to the establishment of the Protestant Episcopal Church of Virginia. Over the following decades, the Episcopal Church suffered from declining membership which led to the deterioration of various church buildings.

During the Civil War, both Union and Confederate troops occupied Pohick Church, damaging the



South Elevation and Ground floor plan attributed to Washington. *FCPL Virginia Room.*



Sketch of Pohick Church by Union soldier Robert Sneden, 1862. *Virginia Historical Society.*



Pohick Church as it appeared in 1865 at the end of the Civil War. *Library of Congress.*



Pohick Church as it appeared in the 1910s. *Library of Congress.*



North and west elevations of Pohick Church; looking south from Richmond Highway, 1922. *Library of Congress.*



Restored Pohick Church interior, 1922. *Library of Congress.*

interior. On November 12, 1861, Union General Samuel P. Heintzelman’s 2nd Michigan Volunteers raided the church, damaging the interior woodwork and pews. During the winter of 1862-1863, a company of Union Cavalry stabled their horses in the church and removed many of the remaining pews and woodwork that was in the way. On the exterior of the building, impact marks and perforated bricks indicated that it may have been used as target practice by troops stationed there.

In addition to being utilized as a stable, Pohick Church’s location on a prominent hilltop made it ideal to serve as an observation balloon outpost for Thaddeus S.C. Lowe, an aeronaut, with the garrison stationed there. Lowe launched his first observation balloon of the war at Pohick Church, and used it repeatedly to track Confederate troop movements along the Occoquan River. On March 7, 1862, he observed Confederate forces evacuating the Occoquan area to retreat south to a more defensible position along the Rappahannock.

In 1874, repairs were initiated to restore the building’s function as a church. In 1901, a full restoration was undertaken by architect Glenn Brown, who oversaw direction of the work and the installation of the current woodwork in the Colonial Revival style thought to be like the original Georgian interior that was lost. Completed in 1906, the restored interior is still maintained today.

During World War I, Hearst Hall, a structure to serve as a recreational hall for soldiers, was built on the property along Richmond Highway west of the church. The Hall was demolished between 1976 and 1980. The church expanded their facilities in 1932 with the construction of a vestry house based on original plans made in 1774 that were not implemented when the church was built. Church facilities were expanded again in 1957 with the construction of a parish center that houses classrooms and office space. The parish center was expanded in the 1980s with a large east addition that gives the building the appearance it retains today. The Pohick Church rectory, located

Timeline

1732

Truro Parish was established by the Anglican Church to serve Virginians north of the Occoquan River

1769-1774

The current Pohick Church is built by Daniel French based on a design by architect James Wren, replacing an earlier wood frame church

1786

Religious disestablishment breaking away from the Anglican Church following the American Revolution to create the Episcopal Church

1861-1865

Pohick Church is utilized by Union and Confederate Troops, suffering damage and falling into disrepair

1874

First restoration of Pohick church to repair the damage and deterioration caused by the war

1901-1906

Restoration of the church to its original Georgian appearance, including the interior

1932

Construction of the vestry based on plans created in 1774

1957-1963

Construction of the parish center (later expanded in the 1980s) and the church rectory.

1969-1970

Pohick Church listed in the Virginia Landmarks Register (1969) and the National Register of Historic Places (1969), and established as the County's first Historic Overlay District (1970).



Painting of Pohick Church and Cemetery by John Gadsby Chapman, 1835. *pohick.org*.



Pohick Church as it appeared in the 1930s. *Historic American Buildings Survey (HABS)*.



Front of Pohick Church as it appears today with pedimented entrance, looking north.



in the wooded area to the west of the church complex and cemetery, was built in 1963, and is still in use today.

At the time, the Pohick Church HOD was designated in 1970, limited commercial and residential uses were concentrated along Route 1 and the land in the vicinity remained largely undeveloped. Between the late 1970s and 1990s, the land to the north of Route 1 within the HOD boundary was developed with single and multi-family subdivisions. Large, forested buffers along the perimeter of the church property provide a sense of seclusion and diminish views into and from Fort Belvoir, located to the southeast of the church, and a sewage treatment plant, located to the southwest. In the 1990s and 2000s, additional residential subdivisions were constructed on the properties immediately west of the church; however, mature trees and vegetation along the church’s western property line obscure most evidence of modern development to the south and east.



Aerial of Pohick Church HOD in 1937 (top), 1972 (middle) and 2023 (bottom). *Historic aerials sourced from Fairfax County Aerial Imagery Collection.*



Pohick Church, c. 1930s. *Library of Congress.*



Pohick Church, 1969. *VCRIS.*



03

Historic Overlay District Overview

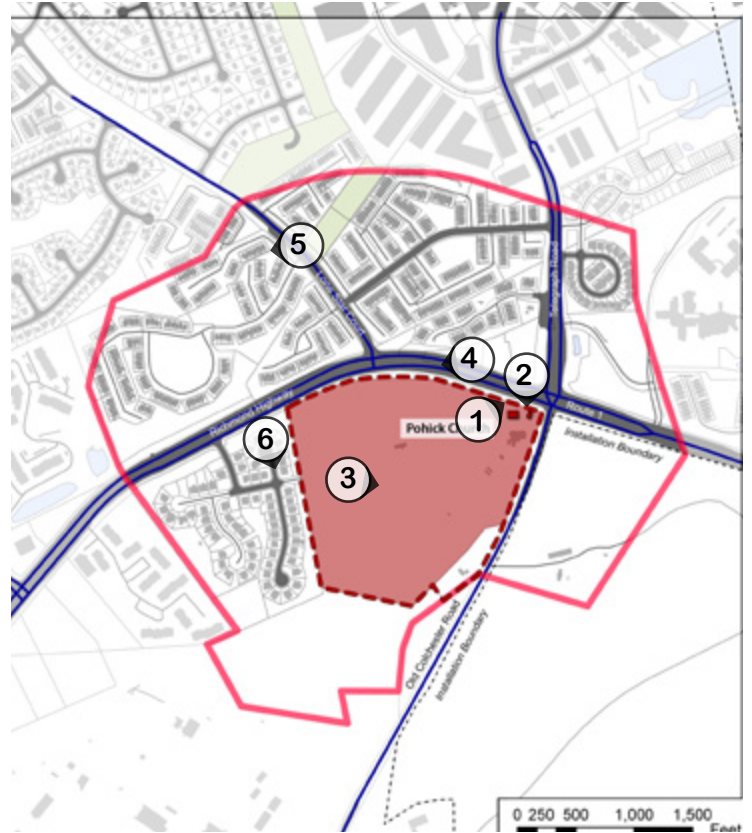
OVERVIEW OF THE POHICK CHURCH HOD

The Pohick Church is an important historic site and was designated as a Fairfax County Historic Overlay District (HOD) in 1970. The HOD encompasses approximately 190 acres including the 39.5 acre Pohick Church property. The Pohick Church property contains the church, parish house, vestry, and a cemetery. The property is heavily wooded, featuring mature trees and landscaping that help buffer the historic character of the property from the adjacent developments and the dense traffic along Richmond Highway. The cemetery, interspersed with trees, is located to the west of the church and ancillary buildings. Paved surface lots are located to the east of the church buildings along Old Colchester Road and at the south end of the cemetery and are accessed by a paved drive that stems from Old Colchester Road. This drive forks and extends northward along both sides of the cemetery, providing two access points from Richmond Highway. The Pohick Church rectory is located in the wooded area to the west of the cemetery, and is accessed by a separate paved drive from the intersection of Richmond Highway and Pohick Road.

By establishing the Historic Overlay District, the Fairfax County Board of Supervisors sought to encourage compatible land uses, preserve the historic church, its associated buildings and surrounding landscape, and maintain the semi-rural character of the district core and its immediate surroundings.



Pohick Church with the parish center at left, looking west.



Views within the Pohick Church HOD, December 2019.

Zoning in the HOD

The County’s Zoning Ordinance regulates land use types and the allowable intensity of development within Historic Overlay Districts and throughout the County. The Zoning Ordinance guides measurable items such as heights, setbacks, siting, and sizes of structures.

There are numerous zones within the HOD reflecting the variety of uses and building types in the surrounding area. Properties within the District Core Boundary are part of Fairfax County’s R-1 (Residential District, One Dwelling Unit/Acre) zone. Regulations of the Pohick Church Historic Overlay District Zone also apply. Other relevant zones include:

- R-2 (Residential District, Two Dwelling Units/Acre)
- R-3 (Residential District, Three Dwelling Units/Acre)
- R-8 (Residential District, Eight Dwelling Units/Acre)
- R-12 (Residential District, Twelve Dwelling Units/Acre)
- R-20 (Residential District, Twenty Dwelling Units/Acre)
- PDH-3 (Planned Development Housing District, Three Units/Acre)
- R-C (Residential Conservation District)
- C-6 (Community Retail Commercial District)
- C-8 (Highway Commercial District)

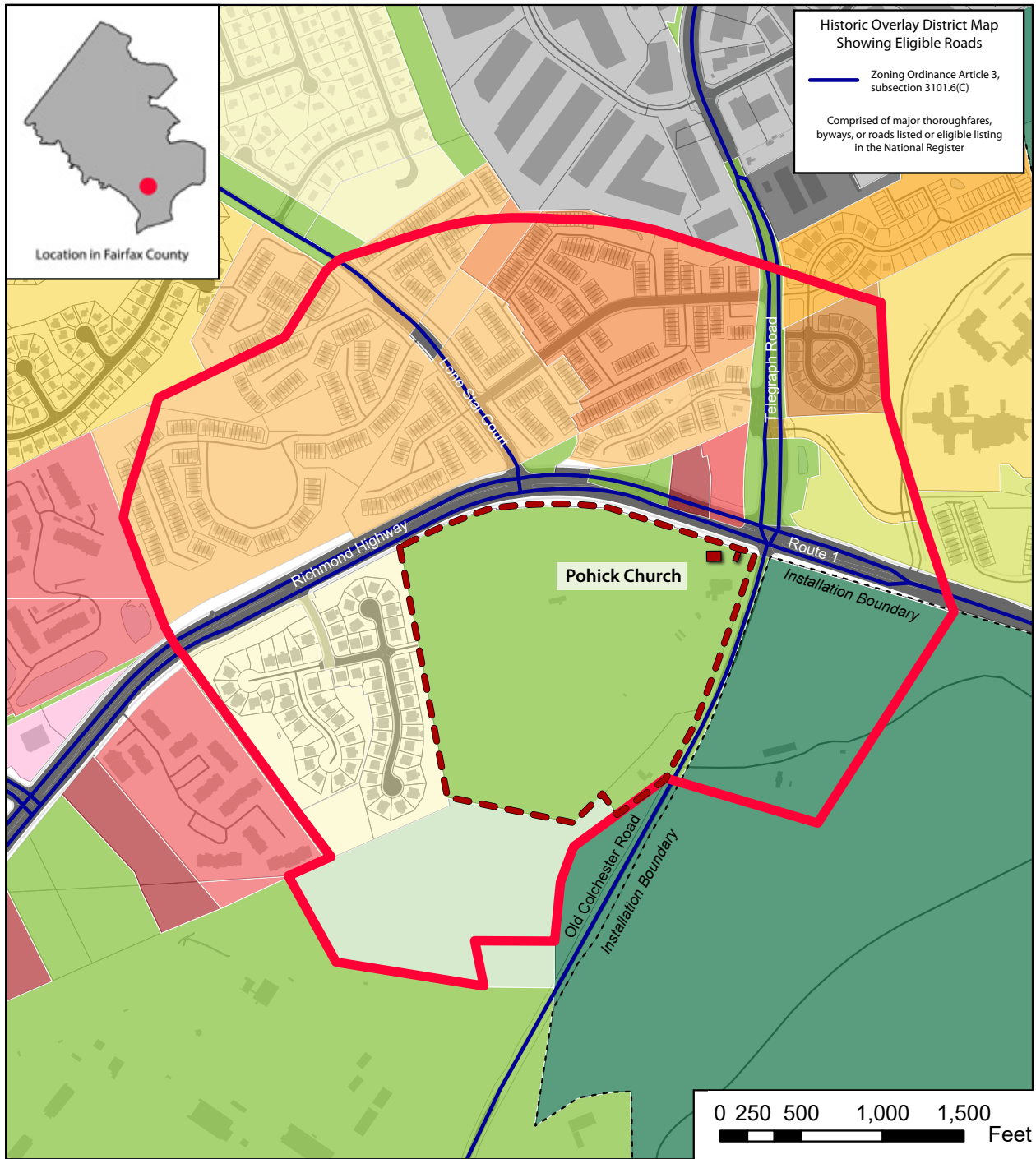
Pohick Church Overlay Zone

The Pohick Church Historic Overlay District regulations are codified in Section 3101.16 of the County Zoning Ordinance. According to the regulations, the permitted uses of the R-1 Zone apply with the following exceptions:

- No multiple family dwelling units shall be permitted.
- Commercial uses are limited to local serving and tourist-oriented uses such as libraries, professional offices, craft shops, restaurants, and antique shops. No service stations, service station/mini-marts, vehicle light service or major service establishments, restaurants with drive-through or quick-service food stores may be permitted.
- No industrial uses are permitted.

Additionally, the regulations limit building heights to a maximum of 39.5-feet. All improvements, including structures, signs, fences, street furniture, outdoor graphics, and public and private utilities, shall be designed and installed to be compatible with the Pohick Church complex in terms of mass, scale, color, and visual impact.

Pohick Church HOD				
Lot Size Requirements and Bulk Regulations				
Min Lot Area	Max Density	Max Floor Area Ratio	Min Yard Req.	Max Height
Specified in the underlying zoning districts.	Specified in the underlying zoning districts.	Specified in the underlying zoning districts.	Specified in the underlying zoning districts	39.5 feet



Pohick Church
Historic Overlay District
Fairfax County, VA

Prepared by EHT Tracerics for the Fairfax County Department of Planning and Development
April 2024

HOD BOUNDARY

The Pohick Church HOD Boundary encompasses approximately 190 acres within a radius of one-quarter mile surrounding the 39.5 acre church property within Fairfax County. The HOD also contains a “District Core,” which encompasses the Pohick Church property including the historic church, churchyard, cemetery, vestry house, and parish center as well as a single parcel south of the church property along Old Colchester Road.

The overall boundary extends beyond the District Core in all directions. The boundaries of the HOD were delineated along property lines in consideration of the area’s topography. Because of the configuration of land in the area, the elevation of the church (150 feet) and the height of the church (39.5 feet), any structure built on an elevation of 100 feet or higher could have a visual impact on the church. Accordingly, all abutting properties and any parcel within the surrounding quarter mile radius having an elevation of 100 feet or more were included in the boundary.

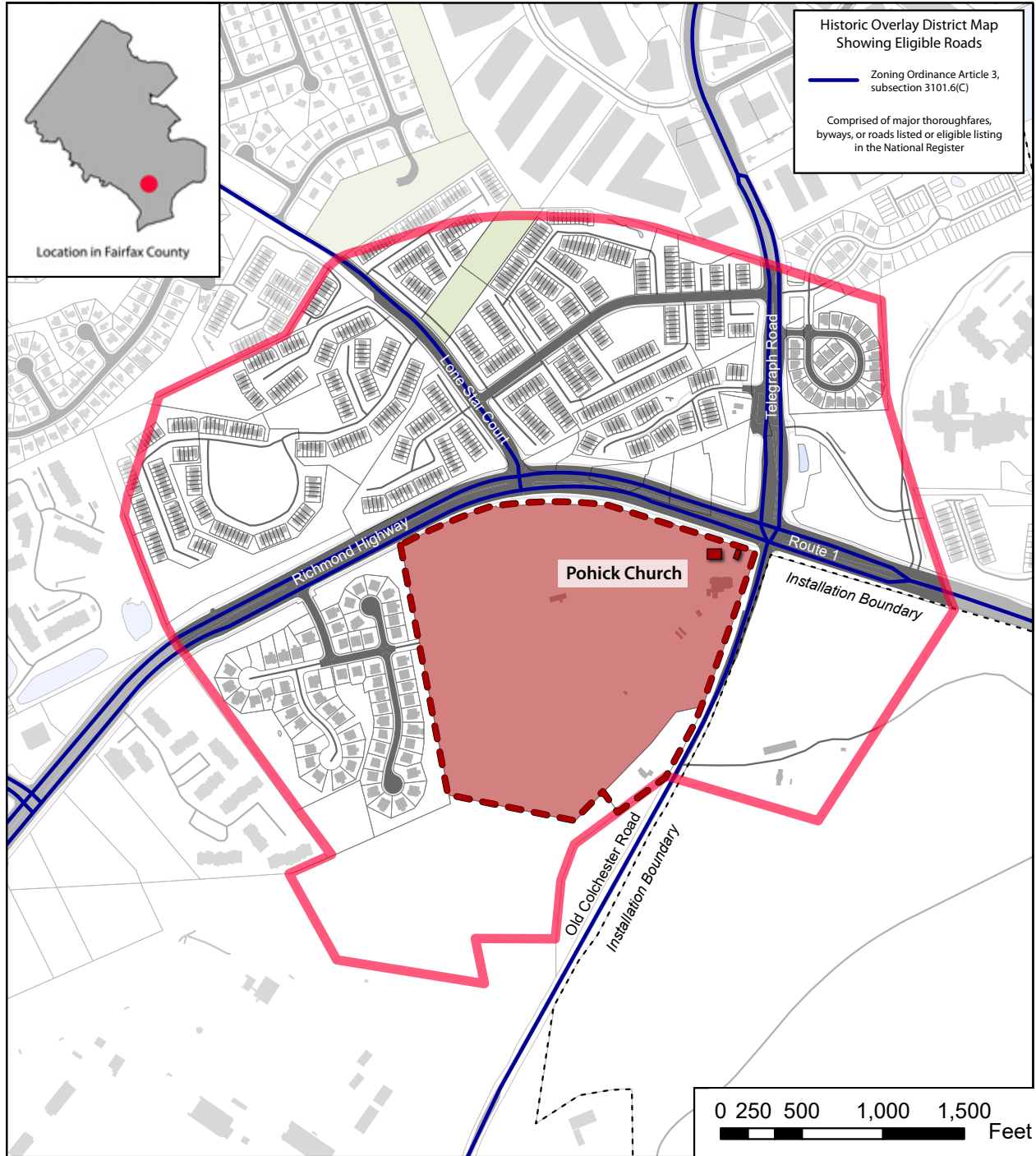
RESOURCE INVENTORY - HISTORIC, CONTRIBUTING, AND NON-CONTRIBUTING RESOURCES

Properties in the HOD are classified as historic, contributing, or non-contributing. The label “historic” indicates that the resource is a central component of the HOD and is named in the historic district ordinance which created the district. The label “contributing” indicates that the resource is one of several that defines the historic character and significance of the district. Historic resources are considered contributing resources. They are distinct from “non-contributing” resources, which may be located within a historic district (and subject to certain restrictions as a result) but are not character-defining because they have been altered or were constructed outside the district’s significant period or development.

In the report substantiating the zoning amendment that established the Pohick Church Historic Overlay District, only the Pohick Church property is listed as a historic/contributing resource. There are currently no other historic or contributing resources within the HOD, as all other properties are designated as non-contributing. A brief description of the individual buildings within the Pohick Church District Core is included on the following pages.

In addition, the HOD contains numerous known and potentially significant prehistoric and historic archaeological resources within the HOD. Thus, there is potential for additional properties within the HOD to be identified as contributing.

A full list of the properties located within the HOD and their classification is included within ***“Appendix C – Inventory of Properties within the HOD”*** on page 54.



Pohick Church
 Historic Overlay District
 Fairfax County, VA

Prepared by EHT Tracerics for the Fairfax County
 Department of Planning and Development
 April 2024

- Legend**
- District Boundary
 - - - District Core Boundary
 - Historic Property
 - Contributing Property
 - Non-Contributing Property



Pohick Church

Historic (Contributing)

Pohick Church is the sole historic and contributing resource within the HOD. Located in the southwest quadrant at the intersection of Richmond Highway and Telegraph/Old Colchester Road, the church was built between 1769 and 1774. The rectangular, two-story brick building is crowned by a modillioned cornice and a hipped roof. The brick is laid in Flemish bond with Aquia Sandstone quoining at each corner. Three doorways with distinctive Aquia sandstone pedimented surrounds provide access to the church's interior. In 1969, Pohick Church was added to the Virginia Landmarks Registry and the National Register of Historic Places. The site is significant for its Georgian architecture and its colonial history—including its association with the history of parish churches in Colonial America, and the role that prominent national figures, including George Washington and George Mason, played in its history and development. The church is also significant for its use in the Civil War as an observation balloon staging ground.



Pohick Church south elevation (left) and west elevation (right).

Vestry House

The vestry house, located immediately east of the church, was built in 1932 based on original plans from 1774 that had not been implemented. Oriented on a north-south axis, the vestry house is a one-story, front gable building constructed of red brick laid in Flemish bond. The architectural elements and detailing serve to compliment the historic Pohick Church.



Vestry House.

Parish Center

The parish center is located to the south of church building across the church yard. The west wing is the original portion of the parish center, built in 1957. The two-story parish center is embanked within the hillside, which slopes down to the south, so that it appears as though it were only one-story when viewed from the church yard. Constructed with brick laid in Flemish bond and capped by a hipped roof, the building compliments the historic church, and together with the vestry house, creates a unified complex. The parish center was expanded to its current size in the 1980s.



Parish Center.

Rectory

The rectory was built in 1963 in a wooded area to the west of the main church complex and cemetery. Constructed of brick, the two-story rectory is a side gable building with an attached one-story garage capped by a hipped roof. The building still serves as the Pohick Church rectory today.



Rectory. *Pohick Church.*

SUMMARY OF DISTRICT CHARACTER

The HOD is characterized by the historic church complex surrounded by wooded areas and buffers. The district core is visually separated from Richmond Highway (Route 1) and the surrounding twentieth-century development by trees along the perimeter of the property. Additional wooded areas shield the church property to the south and west of the property on adjacent parcels. Route 1, a six-lane highway, runs east-west through the center of the HOD. A low brick wall along the south side of Route 1 physically separates the church property from the highway but does not obscure the view of the church or its grounds. The land just beyond the wall includes the church complex, cemetery, and a large grassy field at the south end of the cemetery used for overflow parking. The topography of the landscape slopes down to the south and west of the church through the cemetery and field toward the wooded areas of the property.

Character-Defining Features

Character-Defining Features are those features that distinguish the historic district and help identify the properties that make up its unique setting. Character-defining features can include the overall shape of a building, its materials, craftsmanship, decorative details, interior spaces and features, as well as various aspects of site and environment. Defining characteristics of Pohick Church HOD include the following:

Architectural Features

The church is the pivotal structure in the district. This Georgian style building, a landmark of colonial architecture, is a two-story building capped by a hipped roof covered in slate. Constructed of brick laid in Flemish bond, the church features stone quoining at the corners and door surrounds composed of Ionic pilasters with full entablatures and gabled pediments. Additional character defining features of the church include a modillioned cornice, jack-arched windows at the first-story and Roman-arched windows at the second, double-hung multi-light wood sash, rubbed brick jambs and arches, paneled wood doors, and a brick water table.



Elevation detail showing the stone steps, main entrance with stone surround, and windows.



Detail of the stone quoins and brick water table on the exterior.

The small brick vestry house to the east of the church, as well as the parish center to the south directly across the church yard, were designed to be compatible with the historic Pohick Church, and exhibit the same palette of materials. These buildings, in conjunction with the gates, walls, cemetery, and church yard, combine to create a unified complex which compliments the historic design of the church.

Landscape and Site Features

While the church is the dominant feature of the historic district, the surrounding landscape is critical to maintaining a sense of place.

The church cemetery was formally organized in 1886 on the land immediately west of the church. The original plan for the cemetery divided the land into sixteen-foot by sixteen-foot plots with four-foot aisles of separation. In 1920, additional cemetery lands were surveyed and laid out. No additions have been made to the cemetery grounds since that time.

Wooded areas buffer the church property from Route 1 and development to the north of the church, Telegraph/Old Colchester Roads, and residential developments and a sewage treatment center to the south. The area immediately surrounding the church and its ancillary buildings is partially open, interspersed with mature deciduous trees as well as mature hedges and shrubs. Brick walkways connect the church with the ancillary buildings and with paved parking lots. A low brick wall lines the south side of Route 1 on the church property but does not obscure the church and surrounding landscape from view. Small branches of Pohick Creek stretch into the property.



Pohick Church Cemetery interspersed with trees and surrounded by wooded areas to the west and south. View looking north from the south parking lot.



View toward the parish center and church yard from the east parking lot.



View west along Richmond Highway from Pohick Church. The low brick wall at left does not obscure views of the church and grounds from the road.

Archaeological Features

Though not readily visible, archaeological features within the HOD also contribute to its historic character and significance. The entire district has potential for historical archaeological resources associated with its construction and use from the eighteenth century. There is also the possibility for archaeological resources dating to the Civil War when the church was utilized by Federal and Confederate troops. The cemetery and land immediately around the church complex also holds unmarked graves as the land has been used for burials since the late eighteenth century. It is also possible that Pre-Contact sites are located within the vicinity.



Pohick Church Cemetery.



Pohick Church, looking northwest.

Additional character-defining features of historic and contributing buildings include the following:

BUILDING SITING

- Buildings generally set back from Route 1 and Telegraph/Old Colchester road and oriented away from the roadway.

MASSING AND FOOTPRINT

- Generally rectangular shapes that show off traditional materials
- Rectilinear and L-shaped footprints

BUILDING HEIGHT

- Dominant two-story historic church
- Ancillary one- and two-story buildings on flat or low-sloped portions of the landscape.

WINDOWS

- Symmetrical or regularly-spaced fenestration patterns
- Double-hung wood sash windows with multiple lights
- Stone and brick sills
- Traditional ornamentation such as moldings/trim

DOORS

- Paneled wood French doors at main and secondary entrances
- Single- and double-leaf doors at ancillary buildings
- Entrances with fanlights or transoms
- Doors with porches or entry stoops

DESIGN FEATURES AND MATERIALS

- Stone and brick masonry foundations and walls
- Red brick masonry exteriors
- Elaborate, decorative stonework including quoins and door surrounds
- Decorative brick including rubbed brick elements, water tables, and glazed headers



Pohick Church, looking west.



Parish center, looking west.

ROOF SHAPES AND ROOF ELEMENTS

- Hipped roofs with modillioned cornices
- Front gable roofs
- Roofs covered with varied materials including slate and asphalt shingle.
- Brick chimneys and skylights that pierce the roofline of ancillary buildings

LANDSCAPES AND STREETSCAPES

- Varied topography including open areas interspersed with trees and expansive wooded areas
- Wooded areas obscure new development from view
- Low brick walls and trees lining Route 1 and Telegraph/Old Colchester Roads
- Brick paved walkways
- Asphalt drives and parking surface lots
- Buildings arranged around the historic church and church yard.



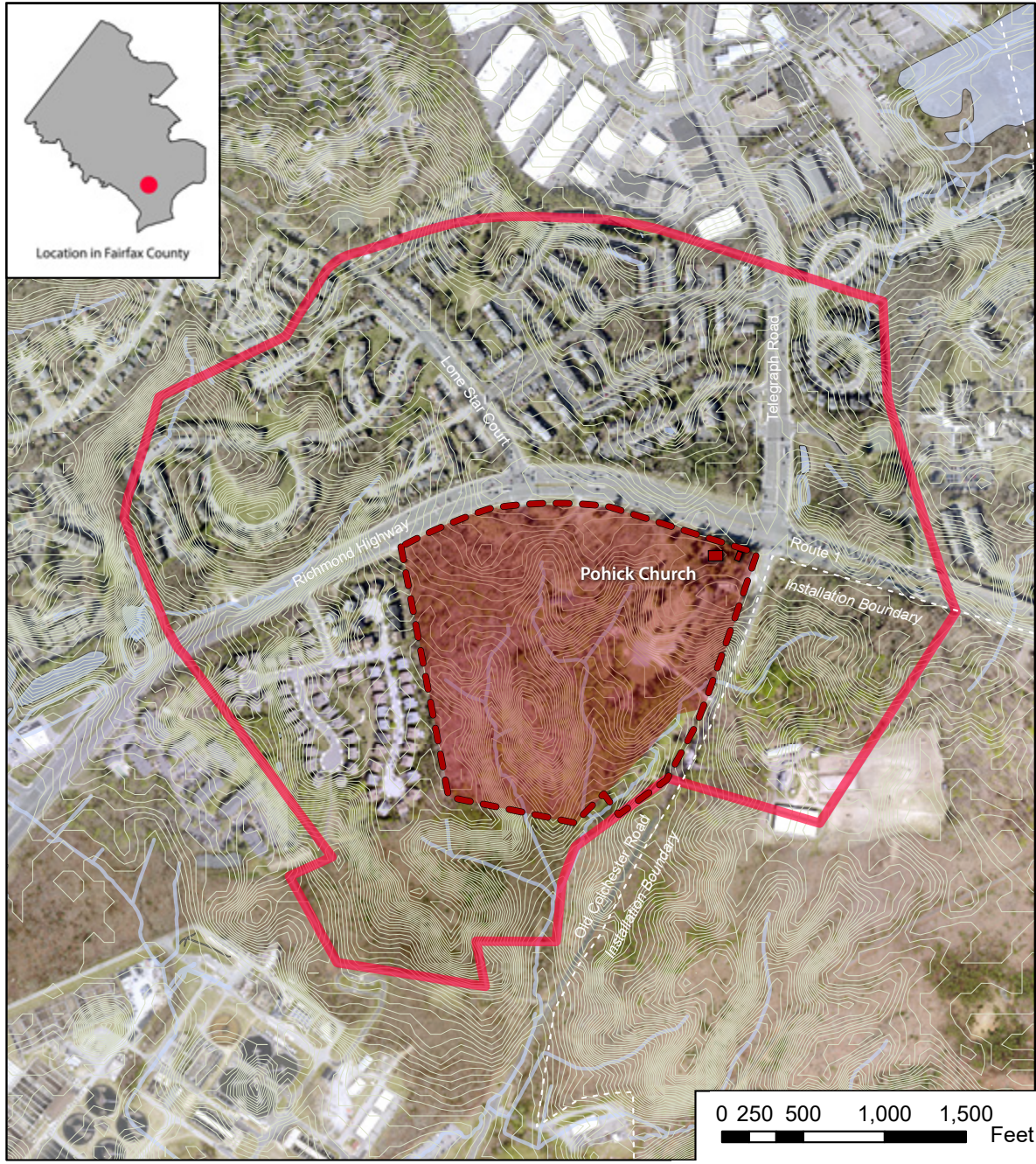
Vestry house, looking south from Route 1.



Pohick Church as seen from Route 1, looking southeast. *VCRIS*.



Landscaping in the cemetery at Pohick Church.



Pohick Church
 Historic Overlay District
 Fairfax County, VA

Prepared by EHT Traceries for the Fairfax County
 Department of Planning and Development
 April 2024

Legend

- District Boundary
- - - District Core Boundary
- Historic Property
- Contributing Property
- Non-Contributing Property

N

Topographical Map, Pohick Church HOD.



04

Design Guidelines

POHICK CHURCH HISTORIC OVERLAY DISTRICT DESIGN GUIDELINES

The intent of the HOD and these guidelines is not to recreate the eighteenth-century landscape, but to protect and enhance a significant and important historic site in Fairfax County that reflects the history and architecture associated with the establishment of parish churches in eighteenth-century Colonial America. As stated in subsection 3101.1 of the Fairfax County Zoning Ordinance, these guidelines are designed to preserve the historic integrity of the district. They offer practical guidance for property owners, the design community, County staff, and the ARB when determining the appropriateness of proposed work during the project planning and review process.

To limit changes that are out of character with the district, the guidelines are meant to encompass the entire HOD, inclusive of historic, contributing, and non-contributing properties. These guidelines do allow for more non-conformity when applied to non-contributing properties; however, changes made to non-contributing buildings are still likely to affect the character of the district and are thus subject to review.

For more information on what work requires and does not require ARB review, see “Historic Overlay District Regulations and Project Review Summary” on page 5.

Preservation Objectives

The Pohick Church HOD designation report (1977) outlines the following goals and objectives for protecting the landmark and its surroundings. The design guidelines are intended to provide guidance for meeting these goals and objectives.

Goals

To protect the Pohick Church against destruction, to encourage uses which will lead to its continuance, conservation and improvement, and to assure that new structures and uses within the district will be in keeping with the character to be preserved and enhanced.

Objectives

- Ensuring that the historic district is visually and functionally identifiable and that the calm and spaciousness of the church property continues to attract tourists.
- Encouraging development along U.S. Route 1 that is local serving and tourist-oriented but compatible with the church in architecture and function.
- Assisting in retaining the church’s viability as a functioning parish.
- In summary, encouraging a stable land use pattern, compatible design for future development, and a maximum amount of open space and natural tree cover as a protection for the Pohick Church Historic District.

What Design Guidelines Can and Cannot Do

The HOD Design Guidelines publication is a Fairfax County Department of Planning and Development policy document that expands upon the requirements outlined in the Zoning Ordinance. The intent of the guidelines is not to stunt innovative design nor preserve the HOD as a snapshot in time. The guidelines are not meant to be absolute, give case-specific advice, or address exceptions or unusual conditions. Sometimes a creative, thoughtful design solution—one that does not neatly fit the written guidelines but may result in a better project and remains compliant with zoning law—will be approved by the ARB. Or there may be constraints inherent to a specific property that will preclude the “ideal” solution. They will help in that “delicate balancing act” of preserving the best of the past while building the best of today.

Guidelines Do:

- Aid citizens, property owners, and design professionals in better understanding the ARB’s review process and meet ARB Standards, which are based on the *Secretary of the Interior’s Standards for Rehabilitation*.
- Provide objective criteria the ARB can use to better protect and preserve the unique and valuable historic resources of Fairfax County.
- Provide a better understanding of a HOD’s physical and historic character.
- Assist the evolution of HODs in a sensitive manner that meets contemporary needs while retaining characteristic features.
- Outline a degree of adaptability appropriate within HODs that is well-aligned with preservation standards.

Guidelines Don’t:

- Dictate that all historic buildings must remain as they were originally.
- Resolve all design challenges and concerns within a HOD.
- Give case-specific advice, or address exceptions or unusual conditions.
- Give absolute direction as to specific standards or requirements, such as square footage.
- Regulate interior design.
- Regulate or increase new construction or rehabilitation activities (that is the role of the private market).
- Improve maintenance of existing properties (locally adopted maintenance codes contain those requirements).
- Become part of, nor an amendment to, the County’s Zoning Ordinance which continues to regulate land use types and the intensity of development within Historic Overlay Districts and throughout the County.

Organization of Guidelines

These District-Specific Guidelines are organized based on three general treatment approaches and project types:

1. Guidelines for Preserving Setting: Topography, Landscape, and Archaeological Resources;
2. Guidelines for Preserving Architectural Character: Preservation and Rehabilitation of Existing Historic and Contributing Resources; and
3. Guidelines for Architectural Compatibility & Neighborhood Cohesion: New Construction and New Additions.

Within each section, guidelines are shown as either “Recommended” or “Not Recommended.” Work treatments and techniques that are consistent with the *Secretary of the Interior’s Standards for Rehabilitation* are “Recommended” and those that are inconsistent with the Standards are “Not Recommended.” The *Secretary of the Interior’s Standards for Rehabilitation* (36 CFR 67) are published by the National Park Service and are the benchmark for appropriate preservation practice nationwide. They are used by the Fairfax County ARB and staff during review of proposed projects in the HOD. While the Standards provide a general framework and the key principles that should be considered as part of a proposed project, exceptions to these guidelines may be permitted in consultation with the ARB on a case-by-case basis depending on project- and site-specific considerations.



View of the parish center, looking southeast.

Secretary of the Interior's Standards for Rehabilitation

The *Secretary of the Interior's Standards for Rehabilitation* are used by Fairfax County ARB and staff in their review of proposed projects in the HOD. The *Secretary of the Interior's Standards* (36 CFR Part 67), developed by the National Park Service and used by many local jurisdictions, offer four distinct approaches to the treatment of historic properties—preservation, rehabilitation, restoration, and reconstruction—with accompanying Guidelines for each. They apply to historic buildings of all periods, styles, types, materials, and sizes.

The *Standards for Rehabilitation* provide the basis for the HOD Design Guidelines and include ten basic principles created to help preserve the distinctive character of a historic building and its site, while allowing for reasonable change to meet new needs. The *Standards for Rehabilitation* are as follows:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

GUIDELINES FOR PRESERVING SETTING: TOPOGRAPHY, LANDSCAPE & ARCHAEOLOGY

DESIGN GUIDELINES



Extensive hardscaping within the HOD (not recommended)



Preserve land contours, open and wooded spaces, and natural landscape (recommended)



Preserve brick site walls and continue brick paving where necessary (recommended)

Landscape and Topography

The natural topographic characteristics, rural character along this stretch of Richmond Highway (Route 1), and natural landscape features of the district, all contribute to the character of the HOD and should be preserved and enhanced.

Guidelines

Recommended

- Preserving and enhancing natural landscape and topographic features of the HOD. When planning a project, identify, retain, and preserve historic materials and landscape features such as topography, vegetation, and materials.
- Retaining natural land contours.
- Maintaining and enhancing wooded buffers along Route 1 to protect the church property from surrounding development and to maintain limited vistas into the Pohick Church property.
- Maintaining substantial landscape buffering between the Pohick Church property and the Lower Potomac Sewage Treatment Plant, Fort Belvoir, and other adjacent properties.
- Protecting Pohick Creek in a natural state.
- Maintaining existing plant materials and tree cover, particularly around the Pohick Church complex and on most of the parcel to the south and west of the cemetery. Where tree removal is necessary due to damage, health, or hazards, replace with like species.
- Continuing use of brick hardscaping within the district core.
- Maintaining brick site walls within the district core.

Not Recommended

- Designing or constructing additions or alterations that would obscure or dominate the views within the district core.
- Adding extensive pavement, hardscaping, or fencing that would alter the landscape and character of the HOD.
- Removing existing healthy trees.

Streetscape

Recommended

- Designing streets and highways within the district to be attractive routes of access both to and through the historic core.
- Using existing roads within the district core and maintaining their modest scale, whenever possible. Locating new roads away from the historic church, repeating the scale, materials, and edge treatments of the existing roads.
- Preserving the limited land buffer between the church and Route 1 and Old Colchester roadways.
- Preserving Old Colchester Road’s traditional rural and scenic character by maintaining its two-lane configuration, high roadbed relative to the surrounding terrain, tree canopy, and limited signage.
- Providing attractive built or landscaped edges along all streets and highways within the district.

Not Recommended

- Encroaching upon the Pohick Church property for any necessary road widening or intersection realignments.
- Constructing grade-separated interchanges at the intersection adjacent to the church.
- Installing multiple signs that detract from the historic site, views, and wayfinding.



Minimize new roadways within the district core (recommended).



Encroaching upon the Pohick Church property for road widening (not recommended)



Preserve Old Colchester Road’s traditional rural and scenic character (recommended)



Protect Pohick Church and its surroundings; preserve limited vistas from Route 1 (recommended)

Archaeological Resources

No comprehensive archaeological survey has been undertaken at the Pohick Church property; however, the property contains nineteenth-century burial sites, including unmarked graves, and potential for eighteenth century resources and nineteenth century resources associated with the Civil War. Several Pre-Contact sites have been identified on the Fort Belvoir property east of Old Colchester Road, and it is likely that the Pohick Church HOD may also have the potential for Pre-Contact sites.

The county may require archaeological investigation for a rezoning, development plan, special exception, special permit, or variance application involving land disturbing activity of 2,500 square feet or more located wholly, partially within or contiguous to an HOD, in accordance with subsection 3101.6(F) of the Fairfax County Zoning Ordinance. The applicant should submit an Archaeological Survey Data Form when the above criteria are met, or as requested by the ARB. The Fairfax County Park Authority Archaeology and Collections Branch will review applications for the probability of the property to yield no, low, medium, or high levels of archaeological resources and decide whether a Phase I Archaeological Survey is warranted.

If you think you may have archaeological resources or remnants of a previous structure on your property, please consult the Fairfax County Park Authority, Archaeology and Collections Branch before you continue with your project. The Archaeology and Collections Branch can be reached at 703-534-3881, TTY 711 or fcpa-archaeology@fairfaxcounty.gov.



Pohick Church Cemetery.

Guidelines

Recommended

- Considering the potential for archaeological resources early in planning and development. Submit an Archaeological Survey Data Form as required by the Zoning Ordinance and consult the Fairfax County Park Authority, Archaeology and Collections Branch staff to determine appropriateness for archaeological investigations.
- Minimizing disturbance of terrain, thus reducing the possibility of destroying unknown archaeological features or materials.
- Locating new construction away from any known archaeological resources.
- Informing the Fairfax County Park Authority, Archaeology and Collections Branch if any archaeological resources are discovered.
- Where disturbance of the site is unavoidable, the site should be properly documented by a qualified archaeologist before it is disturbed.

Not Recommended

- Siting new landscape, construction, or other work on or near a known archaeological resource.
- Altering, damaging, or destroying character-defining (including archaeological) features, while making modifications to a cultural landscape.

GUIDELINES FOR PRESERVING ARCHITECTURAL CHARACTER: PRESERVATION AND REHABILITATION OF EXISTING HISTORIC AND CONTRIBUTING RESOURCES

The physical and design integrity of Pohick Church, its ancillary buildings, and its site should be maintained.

Guidelines

Recommended

- Following the *Secretary of the Interior's Standards for Preservation* for all preservation, rehabilitation, and restoration of Pohick Church, the vestry house, parish center, and rectory.
- Retain historic relationships between the church, its ancillary buildings, and the surrounding landscape.
- If necessary due to deterioration or damage, replace features in-kind or in a manner that matches the historic material and appearance.

Not Recommended

- Undertaking work that would require removal or alteration of Pohick Church or its ancillary buildings and their historic materials.
- Utilizing maintenance practices and materials that are harsh, abrasive, or unproven.



View and details of Pohick Church.

GUIDELINES FOR ARCHITECTURAL COMPATIBILITY: NEW CONSTRUCTION & NEW ADDITIONS

Site Design

New construction within the HOD should respect and protect the cultural landscape and the dominance of Pohick Church within the landscape. New construction within the HOD should be designed to complement the character of the church.

Guidelines

Recommended

- Preserving as much open space and tree cover as possible when considering additional development on the Pohick Church property itself.
- Maintaining a continuous landscape buffer to continue the effect of a “green gateway” at the western entrance of the historic district from the Pohick Church site along the south side of Route 1 for not less than 200 feet.
- Providing adequate landscaping to screen new construction from historic and contributing resources outside the district core.
- Considering the potential for archaeological resources early in all construction plans and mitigate actions that would cause their loss.
- Designing lot configurations of new development projects to be compatible with the natural topography.
- Screening service areas, rear elevations, rear yards, and off-street parking from public view and screen them with plant materials and/or berms if necessary.
- Minimizing the number and size of curb-cuts by consolidating site access with shared, well-defined entries.
- Designing parking lots and vehicular service areas to be well-screened, sited as smaller units, and constructed with gravel or other non-hard surface materials where appropriate.
- Defining the edges between the roadway and new development with plantings and low walls. As an example, see how the existing church property is differentiated from the roadway.

Not Recommended

- Locating new improvements that would be visible directly adjacent to Richmond Highway, Telegraph/Old Colchester Roads, or from the Pohick Church property.
- Substantially altering topography or landscape features to alter the semi-rural character of the area.
- Situating new development on the highest point of a property that would enhance views of new construction from the church and Richmond Highway or Telegraph/Old Colchester Road.
- Installing large expanses of pavement or parking lots.

Architectural Mass and Scale

Recommended

- Designing new construction within the HOD to complement the historic architecture and cultural landscape of the church.
- Designing and constructing new development and additions within the district core and Pohick Church Complex that are deferential to and compatible with the historic church.
- Creating a hierarchy of massing by placing lower buildings closer to the road and higher buildings toward the rear of the site, away from the church.
- Considering compositions made up of smaller units that give a greater sense of human scale rather than one large, undifferentiated building facade.

Not Recommended

- Introducing a new structure, furnishing or object that is visually incompatible with the surrounding character in terms of in mass, scale, form, features, materials, texture, or color.
- Designing unsympathetic new construction that visually and/or physically dominates views and experiences within the HOD.



New construction within the historic core that is compatible and deferential to the historic church (recommended)



Low scale construction with adequate screening that does not impede on views toward or from Pohick Church (recommended).



Continue the visual and architectural compatibility of newer structures that are part of the district core (recommended)



Maintenance of natural topography and landscape buffers surrounding the district core (recommended)

Architectural Design, Style, and Materials

Recommended

- Designing infill structures to fit with the site design and architecture of surrounding development to help provide a consistent visual frame for the historic site.
- Using neutral and muted colors for new structures that complement rather than contrast with those of existing structures.
- Orienting new construction to face the road.
- Designing side elevations that are visible from public roadways and sidewalks to be consistent with the facade in terms of design, materials, and fenestration.
- Using red brick and beige stone to enhance the compatibility of new construction.

Not Recommended

- Designing or constructing new commercial buildings that are intended to serve as a sign or trademark instead of relating to the character of the HOD.
- Using design themes or motifs unrelated to the local context.
- Designing new construction or additions that appear historicist (appearing to date to an earlier era), monolithic, or out of scale with the HOD, unless a reconstruction project based on physical or historical documentation.
- Introducing a new structure, furnishing or object that is visually incompatible with the surrounding character in terms of in mass, scale, form, features, materials, texture, or color.
- Using large expanses of blank walls.



Large expanses of blank walls visible from public streets or sidewalks (not recommended)



Use of materials, design features, and color palettes that are compatible with the church complex (recommended)



Design new construction within the HOD to complement the historic architecture (recommended)

Signage, Fencing, and Lighting

Addition of new signage and fencing into the landscape should not detract from or overwhelm the visual character of the church, the contemplative setting and the natural landscape.

Guidelines

Recommended

- Using low brick walls to delineate property boundaries.
- Keeping signs to the minimum number and size necessary for identification of the historic site and highway safety.
- Using historically compatible materials, such as brick.
- Designing appropriately scaled and detailed signage.
- Preserving and extending the low brick wall along Route 1 where feasible.
- Utilizing low brick masonry walls where walls or fencing is necessary.
- Using minimal outdoor lighting that does not impinge on the historic character of the district. New lighting, where required, should minimize skyglow, glare, and light trespass, and should follow Fairfax County's Outdoor Lighting Standards found on the County's Zoning Administration Division website [here](#).



Not Recommended

- Situating new signage, lighting, walls, or fencing that is visually incompatible with the surrounding character in terms of mass, scale, form, features, materials, texture, or color.
- Installing multiple signs that detract from the historic site and views and wayfinding.
- Designing signage that uses bright colors or internal lighting.
- Installing signage that exceeds ten feet in height.



Walls and existing signage within the HOD.



05

Appendix

APPENDIX A – GLOSSARY OF TERMS & ACRONYMS

Adaptive Reuse: A new use for a building other than its historic use, usually involving some modifications.

Addition: Any living space outside the house’s original walls, including porch, wing, or ell, which has at least partial solid walls and requires a continuous foundation.

Agricultural and Forestal (A&F) District: A land use classification created under Chapter 114 or 115 of the Fairfax County Code for the purpose of qualifying landowners who wish to retain their property for agricultural or forestal use for use/value taxation pursuant to Chapter 58 of the Fairfax County Code.

Alteration: Any change made to a building’s original structure or systems.

Architectural Review Board (ARB): The ARB is responsible for public interest(s) as embodied in the Historic Overlay District Ordinance. Its job is to protect and enhance the resources that give a district its historic, architectural, cultural, or archaeological significance.

Arch: The curved or pointed top on a wall, door or open entryway. Arches come in many different shapes and styles, often supported by columns or piers.

Awning: A roof-like cover of metal or canvas extending over a window or doorway to provide environmental protection.

Baluster: A short post or pillar in a series that supports a rail, forming a balustrade.

Bay: Any number of principal divisions of a wall, roof, or other parts of a building marked off by vertical or transverse supports. Usually refers to the width or depth of a building.

Bead molding: A small, cylindrical molding enriched with ornaments resembling a string of beads.

Bracket: A small supporting piece of wood or stone, often formed of scrolls or other decorative shapes, designed to bear a projected weight, such as a window.

Capital: The head or crowning feature of a column.

Clapboard: Overlapping horizontal boards that cover the wood-framed wall of a building, also called weatherboard.

Clerestory window: A window above eye level (usually at or near the ceiling or roof line) designed to admit light, fresh air, or both.

CMU: Concrete masonry unit.

Column: A vertical support, usually supporting weight from above.

Concrete: Cement mixed with coarse and fine aggregates (pebbles, crushed stone, or brick), sand and water in specific proportions. There are three types of concrete: pre-cast, reinforced and pre-stressed.

Cornice: Any projecting ornamental molding that finishes or crowns the top of a building, wall, or arch.

Cultural Landscape: A geographic area, including both cultural and natural resources and the wildlife or domestic animals therein, associated with a historic event, activity, or person, or exhibiting other cultural or aesthetic values.

Dentils: A series of small decorative blocks forming a molding in an entablature.

Dormer window: A window placed vertically in a sloping roof that has a roof of its own, often gabled, hipped or shed.

Double-hung window: A window having two vertically sliding sashes, each in separate grooves or tracks closing a different portion of the window.

Eaves: The overhanging under-edge of a roof.

Elevation: A synonym for façade, though used to reference secondary (side and rear) façades.

Ell: A perpendicular addition of a building that historically contained a kitchen.

Façade: The primary elevation of a building often distinguished by its architectural ornament.

Facing: A covering applied to the outer surface of a building, also called sheathing or cladding.

Fanlight: A window, often semicircular or semi-elliptical, with decorative tracery suggesting a fan that is often placed over a door.

Fascia: A horizontal piece (such as a board) covering the joint between the top of a wall and the projecting eaves; also called fascia board.

Fenestration: The design, proportioning, and disposition of windows, doors, and other exterior openings of a building.

Fieldstone: Rough, irregularly shaped pieces of rock that can be used to cover the surface of a building, make a walkway, line a garden bed, etc.

Finial: A formal ornament at the top of a canopy, gable, pinnacle, etc., usually in the general shape of a fleur-de-lis.

Fixed window: A window that does not move or open.

Frieze: A decorative horizontal band located just below the cornice.

Gable Roof: A pitched roof form where two angled flat roof surfaces meet at a straight ridge.

Gazebo: A small lookout tower or summerhouse with a view, usually in a garden or park, but sometimes on the porch or roof of a house; also called a belvedere.

German Novelty Siding: A type of siding, which unlike clapboard siding is non-beveled and not lapped in installation. Instead, it is edge-matched with a shiplap or, less often, tongue-and-groove so that it installs flat on wall framing.

GIS: Geographic information system.

Header: A brick laid in a wall so that only its end appears on the face of the wall. To add a varied appearance to brickwork, headers are alternated with “stretchers,” bricks laid full length on their sides.

Hipped Roof: A roof form where all sides slope between the roof ridge and eaves (no gables).

Historic Character: The physical appearance of a property as it has evolved over time, i.e., the original configuration, together with losses and later changes. The qualities of a property conveyed by its materials, features, spaces, and finishes are referred to as character defining.

Historicist Architecture: Architecture that is heavily influenced by past movements, sometimes freely interpreted.

Historic Overlay District (HOD): Historic Overlay Districts provide regulations over and above the regular zoning protection to better protect those unique areas, sites, and buildings that are of special architectural, historic, cultural or archaeological value to local residents and visitors.

History Commission: The Fairfax County History Commission, established in 1969, helps identify, document, record, and preserve our county’s history.

Infill: A new structure built in a block or existing row of buildings.

Integrity: Authenticity of a property’s historic identity, evidenced by the survival of physical characteristics that existed during the property’s historic period.

Inventory of Historic Sites: A catalog of historically significant sites within Fairfax County.

Landscape: The physical and aesthetic setting of a place, including natural and man-made features, spatial relationships, views, and circulation routes.

Lattice: A structure of crossed strips, often wood, creating a grid pattern of open spaces.

Light: A piece of glass located within a window.

Lintel: A horizontal beam or stone bridging an opening, most often a door.

Massing: The distribution of a building’s volume through space; the perception of the general shape, form, and size of a building.

Molding: Horizontal bands having either rectangular or curved profiles, or both, used for transition or decorative relief.

Mullion: A large vertical member separating two or more windows or doors.

Muntin: The members used to create the smaller window panes in a window.

Non-contributing resource: A building, site or structure that does not add to the historic significance of a property or district, often determined by date of construction or level of integrity.

NPS: National Park Service.

NRHP: National Register of Historic Places. The NRHP is the nation's most comprehensive inventory of historic resources; it is administered by the National Park Service and includes buildings, structures, sites, objects, and districts that possess historic, architectural, engineering, archaeological, or cultural significance at the national, state, or local level.

Patio: Paved recreation area, usually at the rear of a home.

Pedestal: In classical architecture, the base supporting a column or colonnade.

Pediment: A low-pitched gable above a portico; also a similar feature above doors, particularly in Colonial Revival style buildings.

Phase I Archaeological Survey: An archaeological investigation in which the goal is to determine the presence or absence of archaeological resources. Phase I archaeological survey may include shovel testing at regular intervals; examination of plowed fields or erosional zones; or the excavation of backhoe trenches in deeply buried contexts to remove fill that overlays the ground surface from the past.

Piazza: A large porch on a house; veranda; an arcade or covered walk or gallery, as around a public square or in front of a building.

Pier: An upright, freestanding masonry support. Often used to support porches.

Pilaster: A shallow post or a rectangular column-like projection. Primarily decorative.

Pitch: The degree of a roof's slope.

Porch: The roofed entrance to a house.

Portico: A roofed entrance to a house that is often columned with a gable roof. It is smaller than a porch.

Prefabrication: The manufacturing of whole buildings or components cast in a factory or on site before being placed in position.

Preservation Easements: Conserving open space and historic resources through easements.

Quoins: The dressed stones at the corners of buildings, usually laid so their faces are alternately large and small.

Rehabilitation: The act or process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions or features which are significant to its historical or cultural values.

Reinforced concrete: Steel rods are inserted in concrete beams to help them withstand longitudinal stress without collapsing. This development has allowed the construction of very large structures using concrete beams.

Repoint: To remove old mortar from a brick wall and replace it with new mortar.

Resource: Any building, structure, site or object that is part of or constitutes a historic property.

Resource Protection Areas (RPAs): regulated waterbodies and associated corridors of environmentally-sensitive land that lie alongside or near the shorelines of streams, rivers and other waterways which drain into the Potomac River and eventually into the Chesapeake Bay.

Restoration: The act or process of accurately recovering the form, features and details of a historic property as it appeared at a particular period of time by means of the removal of later work or by the replacement of missing earlier work.

Retrofit: To refit original parts of a building with new parts.

Sash window: A window formed with sashes, or sliding frames running in vertical grooves.

SOI Standards: Secretary of the Interior's Standards for the Treatment of Historic Properties.

Setback: The distance between a building and the street.

Shutters: Window or door screens featuring horizontal slats that may be articulated, allowing control over air and light transmission. The styles include louvered and paneled. They were historically made of wood, although metal and vinyl non-functioning shutters now exist.

Sidelights: Narrow, vertical windows flanking a door.

Siding: A weatherproof material used as cladding or sheathing the external walls of a wood frame building.

Sill: The lower horizontal part of a window or door frame. Materials vary widely, from wood to marble.

Soffit: The underside of any architectural element (as of an overhang or staircase).

Stucco: A type of plaster used on exterior walls

Transom: A small, usually rectangular window over a door. Some transoms open to cross-ventilate a home, while others are only decorative

Trim: The framing or edging of openings and other features on the facade of a building or indoors. Trim is often a different color or material than the adjacent wall.

Vernacular: Local architecture that generally is not designed by an architect and is characteristic of a particular area, often an interpretation of more high-style building traditions.

Weatherboard: Overlapping horizontal boards that cover the wood-framed wall of a building, also called clapboard sheathing or cladding.

APPENDIX B – ADDITIONAL RESOURCES

Pohick Church Documentation

National Register of Historic Places, Pohick Church, Fairfax County, Virginia, National Register #69000239, October 16, 1969. <https://catalog.archives.gov/id/41680531>.

Virginia Landmarks Register listing: <https://www.dhr.virginia.gov/historic-registers/029-0046/>

Historic American Buildings Survey (HABS). “Pohick Church, 9301 Richmond Highway, Lorton, Fairfax County, VA.” <https://www.loc.gov/pictures/item/va0434/>.

Fairfax County Architectural Review Board. “Pohick Church Design Guidelines.” Approved 1992. Accessed January 2021. https://www.fairfaxcounty.gov/planning-development/sites/planning-development/files/assets/documents/historic/pohick_church_dg.pdf.

Cannan, Deborah. “Contributing Properties within Historic Districts.” Deborah Cannan to Bruce Kriviskey, Fairfax County, Virginia, April 15, 1991.

National Park Service

Secretary of the Interior’s Standards and Guidelines for the Treatment of Historic Properties. <https://www.nps.gov/orgs/1739/secretary-standards-treatment-historic-properties.htm>

“The Secretary of the Interior’s Standards for the Treatment of Historic Properties + Guidelines for the Treatment of Cultural Landscapes.” <https://www.nps.gov/crps/tps/landscape-guidelines/index.htm>

“The Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, & Reconstructing Historic Buildings” <https://www.nps.gov/orgs/1739/upload/treatment-guidelines-2017-part1-preservation-rehabilitation.pdf>

National Park Service Technical Preservation Services – Sustainability. <https://www.nps.gov/orgs/1739/sustainability-energy-efficiency-resilience-historic-buildings.htm>

Preservation Briefs

The National Park Service Preservation Briefs and other relevant publications provide additional guidance and technical recommendations to supplement the information provided in these design guidelines. The following Preservation Briefs (found here: <https://www.nps.gov/orgs/1739/preservation-briefs.htm>) should be referenced to inform project planning.

“Preservation Brief 14: New Exterior Additions to Historic Buildings: Preservation Concerns.” National Park Service.

“Preservation Brief 32: Making Historic Properties Accessible.” National Park Service.

Fairfax County Links

Fairfax County Land Development Services Webpage. <https://www.fairfaxcounty.gov/landdevelopment/>

Article 3, Section 3101.1 of the Fairfax County Zoning Ordinance. <https://online.encodeplus.com/regs/fairfaxcounty-va/doc-viewer.aspx?tocid=001.004.002>

APPENDIX C – INVENTORY OF PROPERTIES WITHIN THE HOD

INVENTORY OF PROPERTIES LOCATED WITHIN THE POHICK CHURCH HOD ¹		
<i>Parcel ID</i>	<i>Description</i>	<i>Classification</i>
1081-01-0027	Pohick Church and Cemetery	Historic (Contributing)

<i>Parcel ID</i>	<i>Classification</i>
1081-09-0102	Non-Contributing
10081-07-C	Non-Contributing
1081-01-0020	Non-Contributing
1081-01-0022A	Non-Contributing
1081-01-0024	Non-Contributing
1081-01-0025	Non-Contributing
1081-01-0026	Non-Contributing
1081-01-0028	Non-Contributing
1081-01-0047B	Non-Contributing
1081-01-0050	Non-Contributing
1081-04-0001	Non-Contributing
1081-04-0002	Non-Contributing
1081-04-0003	Non-Contributing
1081-04-0004	Non-Contributing
1081-04-0005	Non-Contributing
1081-04-0006	Non-Contributing
1081-04-0007	Non-Contributing
1081-04-0008	Non-Contributing
1081-04-0009	Non-Contributing
1081-04-0010	Non-Contributing
1081-04-0036	Non-Contributing
1081-04-0037	Non-Contributing
1081-04-0038	Non-Contributing
1081-04-0039	Non-Contributing
1081-04-0040	Non-Contributing
1081-04-0041	Non-Contributing
1081-04-0042	Non-Contributing
1081-04-0043	Non-Contributing
1081-04-0044	Non-Contributing
1081-04-0045	Non-Contributing
1081-04-0046	Non-Contributing
1081-04-0047	Non-Contributing

1081-04-0048	Non-Contributing
1081-04-0049	Non-Contributing
1081-04-0050	Non-Contributing
1081-04-0051	Non-Contributing
1081-04-0052	Non-Contributing
1081-04-0053	Non-Contributing
1081-04-0054	Non-Contributing
1081-04-0055	Non-Contributing
1081-04-0056	Non-Contributing
1081-04-0057	Non-Contributing
1081-04-0058	Non-Contributing
1081-04-0059	Non-Contributing
1081-04-0060	Non-Contributing
1081-04-0061	Non-Contributing
1081-04-0062	Non-Contributing
1081-04-0063	Non-Contributing
1081-04-0064	Non-Contributing
1081-04-0065	Non-Contributing
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1081-04-0067	Non-Contributing
1081-04-0068	Non-Contributing
1081-04-0069	Non-Contributing
1081-04-0070	Non-Contributing
1081-04-0071	Non-Contributing
1081-04-0072	Non-Contributing
1081-04-0073	Non-Contributing
1081-04-0074	Non-Contributing
1081-04-0075	Non-Contributing
1081-04-0076	Non-Contributing
1081-04-0077	Non-Contributing
1081-04-0078	Non-Contributing
1081-04-0079	Non-Contributing
1081-04-0080	Non-Contributing

1081-04-0081	Non-Contributing
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1081-04-0083	Non-Contributing
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1081-04-0088	Non-Contributing
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1081-04-0090	Non-Contributing
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1081-04-0095	Non-Contributing
1081-04-0096	Non-Contributing
1081-04-0097	Non-Contributing
1081-04-0098	Non-Contributing
1081-04-0099	Non-Contributing
1081-04-0100	Non-Contributing
1081-04-0101	Non-Contributing
1081-04-0102	Non-Contributing
1081-04-0103	Non-Contributing
1081-04-0104	Non-Contributing
1081-04-0105	Non-Contributing
1081-04-0106	Non-Contributing
1081-04-0107	Non-Contributing
1081-04-0108	Non-Contributing
1081-04-0109	Non-Contributing
1081-04-0110	Non-Contributing
1081-04-0111	Non-Contributing
1081-04-0112	Non-Contributing
1081-04-0113	Non-Contributing

¹ There is potential for significant archaeological resources on all parcels within the HOD, and thus the potential for additional contributing properties.

1083-03010018	Non-Contributing
1083-03010019	Non-Contributing
1083-03010020	Non-Contributing
1083-03010021	Non-Contributing
1083-03010022	Non-Contributing
1083-03010023	Non-Contributing
1083-03010024	Non-Contributing
1083-03010025	Non-Contributing
1083-03010026	Non-Contributing
1083-03010027	Non-Contributing
1083-03010028	Non-Contributing
1083-03010029	Non-Contributing
1083-03010030	Non-Contributing
1083-0301-A	Non-Contributing
1083-03-A	Non-Contributing
1083-03-B	Non-Contributing
1152-01-0001	Non-Contributing

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